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**LOCK & KEY**  
*Estate Agents*



## Wharf Court Spa Road , Melksham, SN12 7NS

Lock and Key independent estate agents are pleased to offer this rare opportunity to acquire this GROUND FLOOR apartment within the ever popular Wharf Court retirement complex - set in an enviable position with a French door opening out from the lounge/diner into the central quartile gardens, double glazing, white shower suite, two bedrooms, fitted kitchen and pretty garden views.

Wharf Court is a lovely retirement complex just on the outskirts of the town centre, developed for the over 60's in mind, the development offers communal facilities to include large open lounge, kitchen, guest suite, laundry facilities and well presented pretty gardens.

The property has the further benefits of 24 hour alarm call service with a scheme manager or deputy on duty Monday to Friday. VIEWING IS ESSENTIAL TO FULLY APPRECIATE ALL THIS LOVELY PROPERTY HAS TO OFFER.

**£95,000**

# Wharf Court Spa Road

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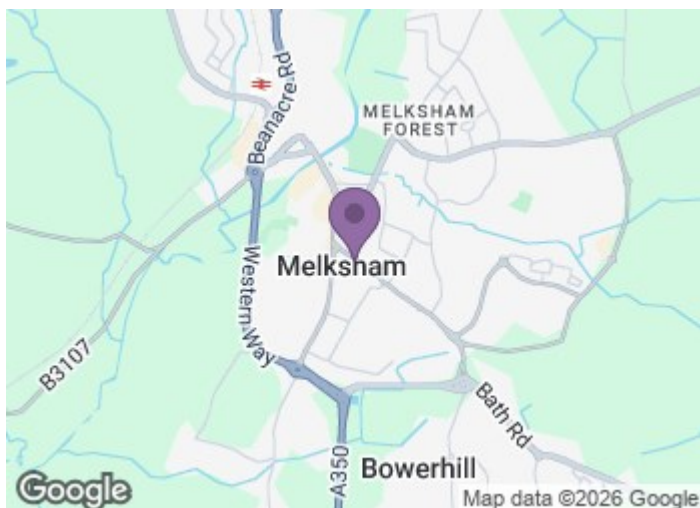
- Private Development & Retirement Apartment
- Ground Floor Flat
- Shower Suite
- Parking & Secure Entry System & No Chain
- Garden Views
- Light & Airy Living Room
- Communal Lounge & Gardens
- Two Bedrooms
- Fitted Kitchen
- Close To Amenities

## Situation

## Agents Note

## Service Charge

## Tenure - Leasehold



## Directions



Floor Plan

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firms employment has the authority to make or give any representation or warranty in respect of the property.

| Energy Efficiency Rating                    |         |                            |
|---------------------------------------------|---------|----------------------------|
|                                             | Current | Potential                  |
| Very energy efficient - lower running costs |         |                            |
| (92 plus) A                                 |         |                            |
| (81-91) B                                   |         |                            |
| (69-80) C                                   |         |                            |
| (55-68) D                                   |         |                            |
| (39-54) E                                   |         |                            |
| (21-38) F                                   |         |                            |
| (1-20) G                                    |         |                            |
| Not energy efficient - higher running costs |         |                            |
| England & Wales                             |         | EU Directive<br>2002/91/EC |